



March 17, 2015

Mr. Darren Parkin
Water Resources Specialist
City of Laramie
P.O. Box C
Laramie, WY 82073

RE: Addendum to Site-Specific Investigation for Premier Bone and Joint for Gem City Properties, LLC

Dear Mr. Parkin:

Gem City Properties plans to construct an oxygen storage facility addition to their building housing Premier Bone and Joint (formerly Gem City Bone and Joint) at 1909 Vista Drive in Laramie, Wyoming. The building is located on property owned by Gem City Properties in the southwest quarter of the northwest quarter of Section 1, Township 15 North, Range 73 West, as shown on Figure 1. The property lies within the boundaries of the Casper Aquifer Protection Overlay Zone (APO Zone) described in the *Casper Aquifer Protection Plan (CAPP)*, which was approved by the City of Laramie (City) on June 3, 2008.

A site-specific investigation (SSI) report was submitted to the City on May 24, 2010 that pertained to the expansion of the Gem City Bone and Joint building and addressed the requirements of Section 17.82.080 of the Laramie Municipal Code. An addendum to the SSI was submitted to the City on August 9, 2011 that incorporated updates to the SSI relative to renovations to the façade of the building.

This letter is intended to describe existing conditions and updates to the aforementioned SSI report and addendum relative to the 2015 proposed addition. The oxygen storage facility addition is designed to be 48 square feet and will be located on the southwest portion of the building. Excavation related to the addition includes that required for a 10-inch thick concrete slab and footer under the storage facility. This excavation is expected to be less than four feet in depth. The site plan for the 2015 proposed addition is included as an attachment to this letter.

Site conditions have not changed since the submittal of the August 9, 2011 addendum to the SSI report. Based on the conditions documented in the previous SSI and Addendum reports, the proposed oxygen storage facility addition presents no additional risk to the Casper Aquifer.



Mr. Darren Parkin
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Page 2

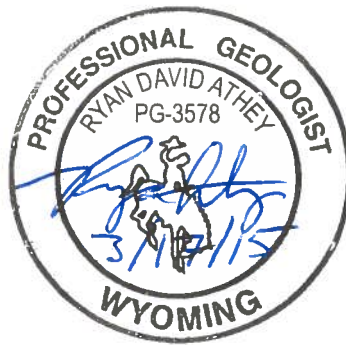
If you have questions or need further information, please call me at (307) 745-7474.

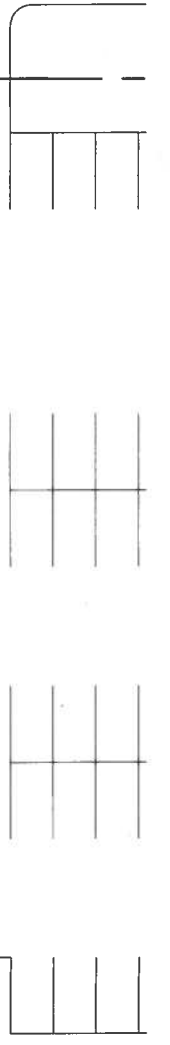
Sincerely,
Trihydro Corporation

Ryan Athey, P.G.
Project Manager

12D-001-002

Attachments





EXISTING
PARKING LOT

EXISTING
BUILDING

EXISTING OPEN
SPACE

VISTA
DRIVE

EXISTING OPEN
SPACE

EXISTING
PARKING LOT

EXISTING OPEN
SPACE

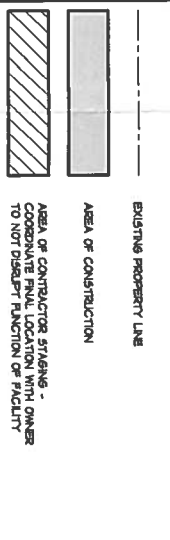
GENERAL NOTES

1. ALL FLAT WORK CONCRETE SHALL CONTAIN FIBER REINFORCEMENT.
2. CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF THE WORK.
3. COORDINATE BETWEEN ALL TRADING AND SERVICES FOR CONCRETE SCOPE OF WORK. IF A CONTRACT DISCREPANCY OCCURS BETWEEN ANY TRADES, THE CONTRACTOR SHALL ASSUME "WORST CASE" AND BID ALL MEANS NECESSARY TO COMPLETE THE SCOPE OF WORK IN FULL.
4. IF A CONFLICT OR DISCREPANCY OCCURS BETWEEN 1.0 OR 2.0 PLAN OR ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL DRAWINGS - CONTRACTOR MUST CONTACT FOR CLARIFICATION.
5. CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES AS NECESSARY FOR THE SCOPE OF THE WORK.
6. SLOPE ALL NEW CONCRETE AWAY FROM BUILDINGS AND OTHER STRUCTURES, BOTH EXISTING AND NEW AS REQUIRED.

KEYED NOTES

- NOTED THIS (X)
1. AREA OF SLABS TO BE REMOVED - FIVE PROPER PRECAUTIONS TO PROTECT (B) ADJACENT FINISHED AND UTILITIES TO REMAIN - SEE FLOOR PLAN FOR MORE INFORMATION
 2. PROPOSED CONTRACTOR STAGING AREA - CONTRACTOR TO COORDINATE FINAL STAGING AREA WITH OWNER SO AS TO NOT DISRUPT FACILITY OPERATIONS
 3. (B) CONCRETE SERVICE DRIVE TO REMAIN - DO NOT BLOCK
 4. (B) TRAILER RECEIPTABLE - DO NOT BLOCK
 5. PROPOSED TEMPORARY LOCATION OF (B) OXYGEN TANK - OWNER TO COORDINATE RELOCATION - COORDINATE CONSTRUCTION ACTIVITIES WITH OWNER ACCORDINGLY

LEGEND



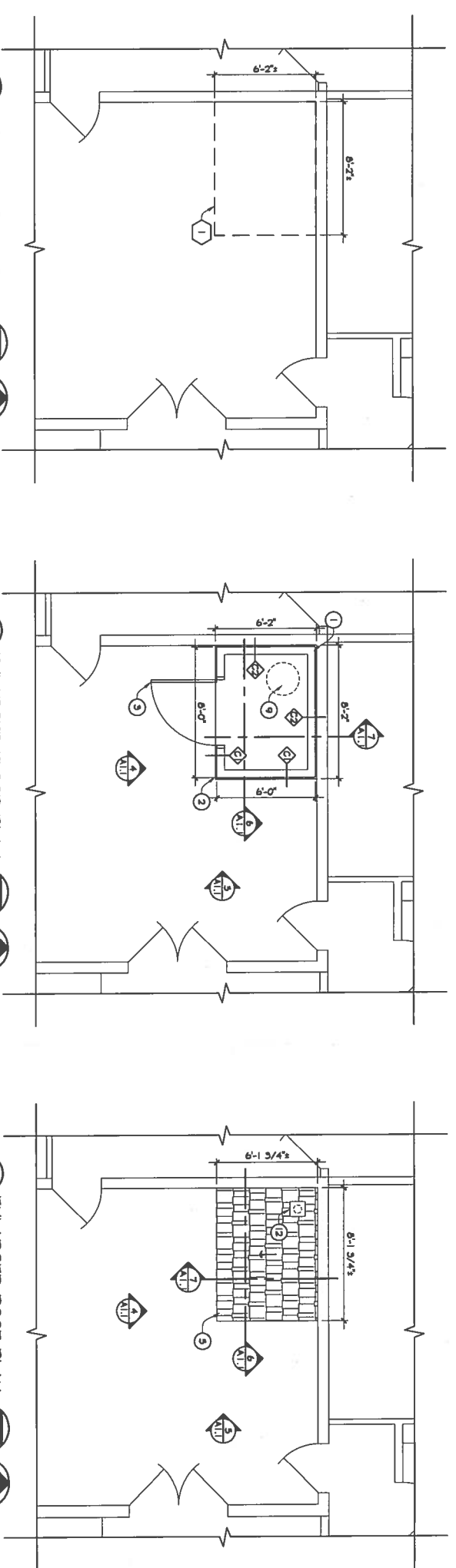
**PREMIERE BONE AND JOINT
OXYGEN STORAGE FACILITY ADDITION
plan one / architects**



The professional services of the architect are provided under the contract of AS1.1 dated 12/15/2014. The architect is not responsible for the construction of the project. The architect is not responsible for the construction of the project.

Project: 1443
date: 12/15/2014
revisions:

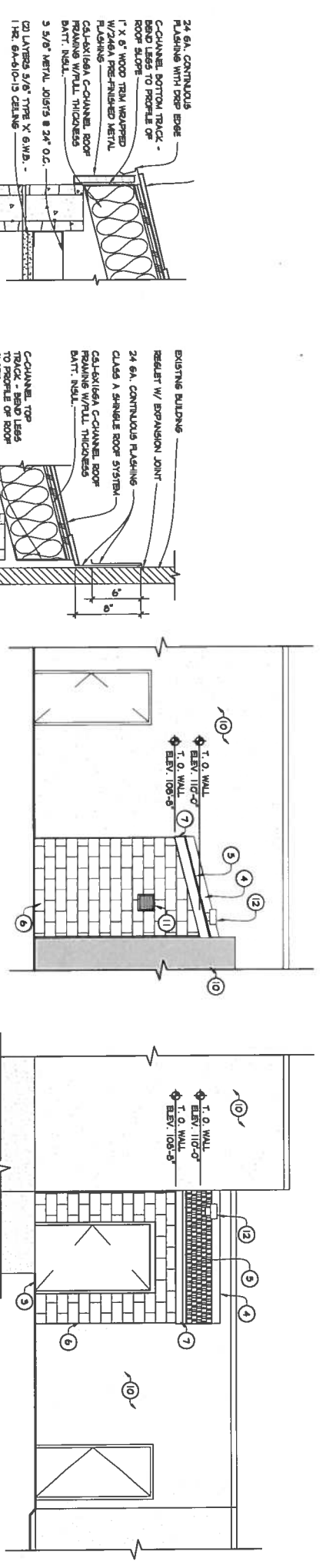
AS1.1



3 ENLARGED DEMO PLAN
A1.1 SCALE 1/4" = 1'-0"
ACTUAL PLAN

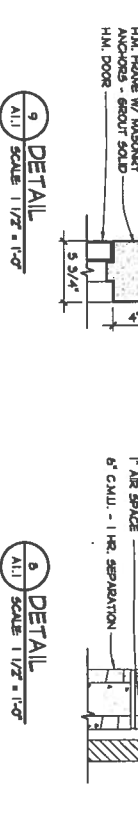
2 ENLARGED FLOOR PLAN
A1.1 SCALE 1/4" = 1'-0"
ACTUAL PLAN

1 ENLARGED ROOF PLAN
A1.1 SCALE 1/4" = 1'-0"
ACTUAL PLAN

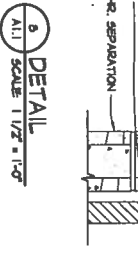


5 WEST ELEVATION
A1.1 SCALE 1/4" = 1'-0"

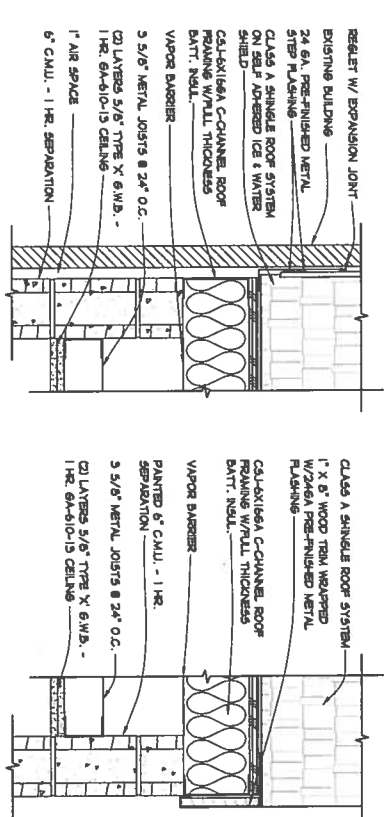
4 NORTH ELEVATION
A1.1 SCALE 1/4" = 1'-0"



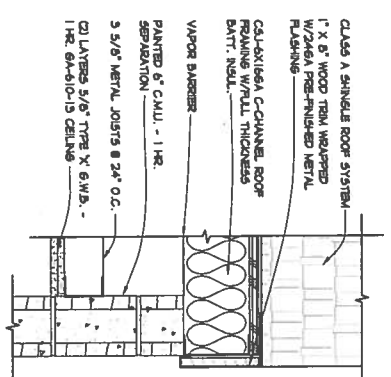
9 DETAIL
A1.1 SCALE 1 1/2" = 1'-0"



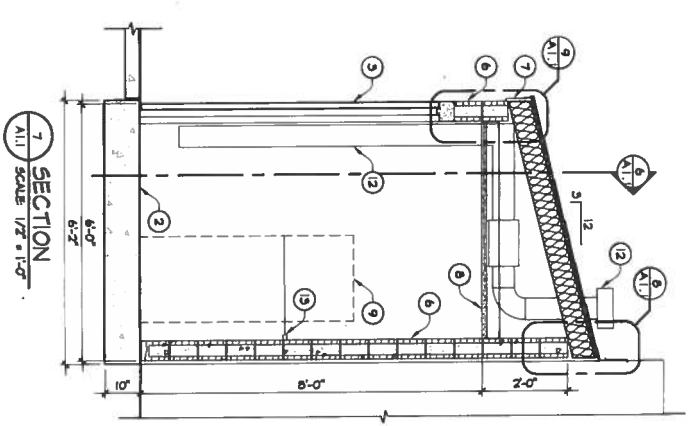
8 DETAIL
A1.1 SCALE 1 1/2" = 1'-0"



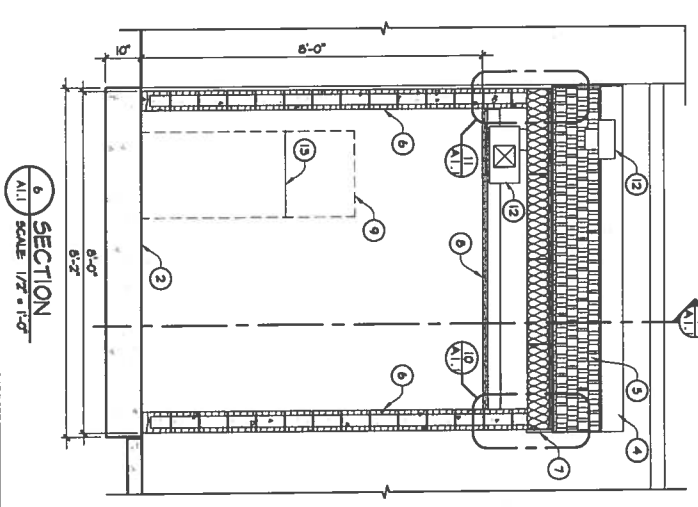
11 DETAIL
A1.1 SCALE 1 1/2" = 1'-0"



10 DETAIL
A1.1 SCALE 1 1/2" = 1'-0"



7 SECTION
A1.1 SCALE 1/2" = 1'-0"



6 SECTION
A1.1 SCALE 1/2" = 1'-0"

GENERAL NOTES

- SOME UNKNOWN CONDITIONS MAY EXIST. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE EXTENT OF THE WORK.
- ALL GRID LINES ARE TO THE EDGE OF FOUNDATION OR TO THE CENTER OF STRUCTURAL ELEMENTS UNLESS OTHERWISE NOTED.
- IF A CONFLICT OR DISCREPANCY OCCURS BETWEEN FLOOR PLANS OR ARCHITECTURAL, STRUCTURAL, MECHANICAL, OR ELECTRICAL, CONTACT ARCHITECT FOR CLARIFICATION.
- SEE FLOORING PLANS FOR EXACT LOCATION OF FLOOR GRAINS. SLOPE ALL CONCRETE SLABS UNLESS OTHERWISE NOTED.
- SEE STRUCTURAL DRAWINGS FOR CONTROL JOINTS IN FLOOR SLABS AND EXACT LOCATIONS AND SIZES OF COLLARS.
- SEE WALL TYPE SCHEDULE ON THIS SHEET FOR WALL CONSTRUCTION INFORMATION.
- ALL 6" W.B. TO BE 5/8" TYPE X UNLESS OTHERWISE NOTED.
- USE WATER RESISTANT 6" W.B. IN ALL WET AREAS TOILET ROOMS AT FUTURE WALLS ONLY.
- PROVIDE BACKING IN WALLS FOR GRAB BARS AND TOILET ACCESSORIES - SEE DETAIL 8/A2.1.
- SEE SHEET A2.1 FOR ROOM FINISH SCHEDULE ENLARGED PLANS AND INTERIOR ELEVATIONS.
- SEE SHEET A1.1 FOR REFLECTED CEILING PLANS.
- PROVIDE CEILING BEAD (SEALANT) WHERE GRAB BARS MEET DISJUNCTURE MATERIAL.
- SEE SHEET ME11 FOR ELECTRICAL AND MECHANICAL INFORMATION.

DEMOLITION NOTES

- REMOVE 8" CONCRETE PAD TO EXISTING SHOWN AND PREP FOR INSTALLATION OF NEW 10" PAD.

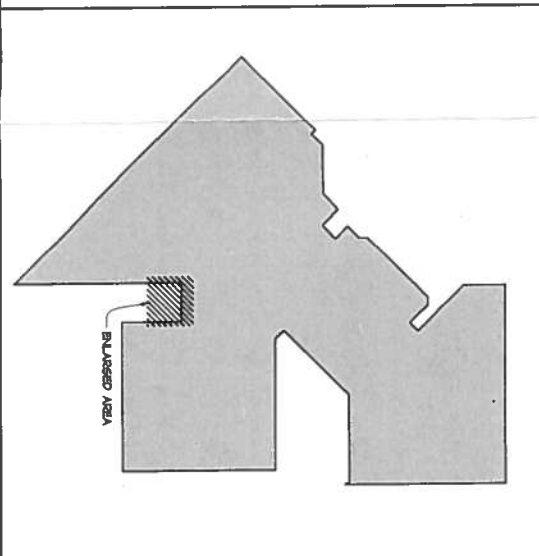
KEYED NOTES

- NEW 6" X 6" FIRE RATED OVERHEAD STORAGE FACILITY
- NEW 10" REINFORCED THICKENED EDGE SLAB - PROVIDE TWO LAYERS OF #5 REINFORCING BARS AT 18" O.C. EACH WAY
- HOLLOW METAL FRAME AND 4'-0" X 7'-0" DOOR - SEE DETAIL 9/A1.1
- 24 GA. FLASHING - SEE DETAILS 8/A1.1 AND 11/A1.1
- CLASS A SHINGLE ROOF SYSTEM
- 6" CMU WALL
- 1" X 6" WOOD TRIM
- 2" LAYERS 5/8" TYPE X 6" W.B. ON 3/8" METAL JOISTS @ 24" O.C. - IRR 6A-610-13
- 6" BUILDING
- MECHANICAL EQUIPMENT - SEE MECHANICAL FOR MORE INFORMATION
- MECHANICAL EQUIPMENT - SEE MECHANICAL FOR MORE INFORMATION
- UNISURF WITH CHAIN AND HOOPS - SEE MECHANICAL FOR MORE INFORMATION

WALL TYPES

- CMU WALL - 6" CMU WALL TO BOTTOM OF STRUCTURE - PROVIDE GROUTED W/2" #4 REINFORCING BARS BENEATH AT 8'-0" & 10'-0" A.F.F. - PROVIDE SLOTTED GROUTED CELLS NOT TO EXCEED 4'-0" AND AT ALL CORNERS - PREP, FILL, & PAINT INTERIOR AND EXTERIOR EXPOSED SURFACES
- CMU WALL - EXISTING CMU WALL TO BOTTOM OF STRUCTURE ON 1" AIR SPACE ON 6" BUILDING - PROVIDE GROUTED W/2" #4 REINFORCING BARS BENEATH AT 8'-0" & 10'-0" A.F.F. - PROVIDE SLOTTED GROUTED CELLS NOT TO EXCEED 4'-0" AND AT ALL CORNERS - PREP, FILL, & PAINT INTERIOR EXPOSED SURFACES

KEY PLAN



PREMIERE BONE AND JOINT ARCHITECTS
plan one / architects

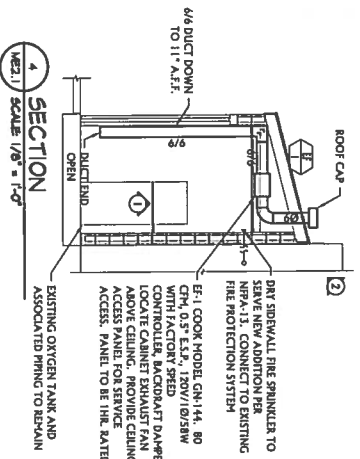
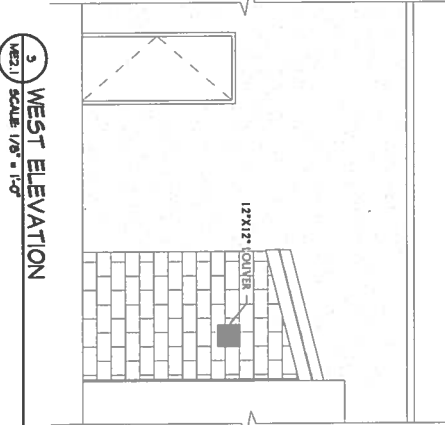
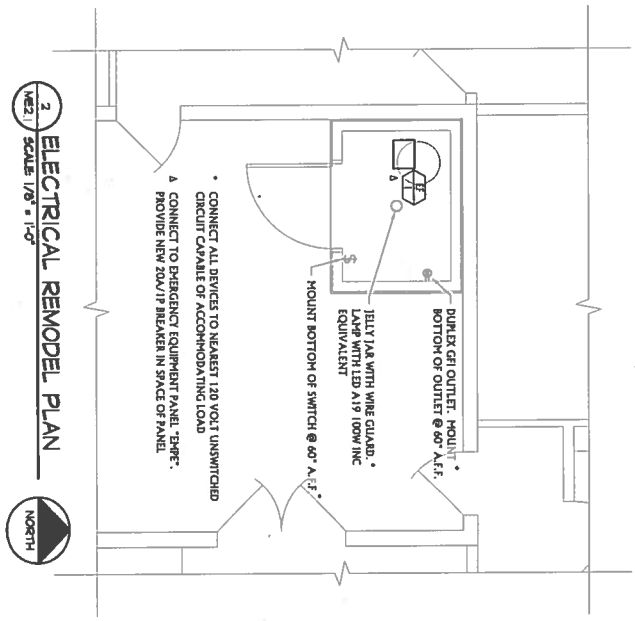
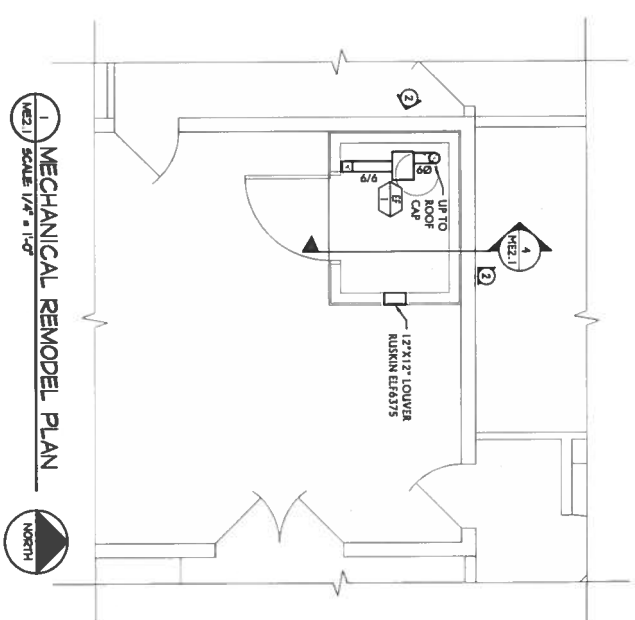
The Professional Engineer of the ground work shown on this drawing is Chad R. Johnson, License No. 1443, State of Wyoming. He is responsible for the design and construction of the work shown on this drawing.

 Project: 1443

 Date: 12/15/2014

 Revisions:

A1.1



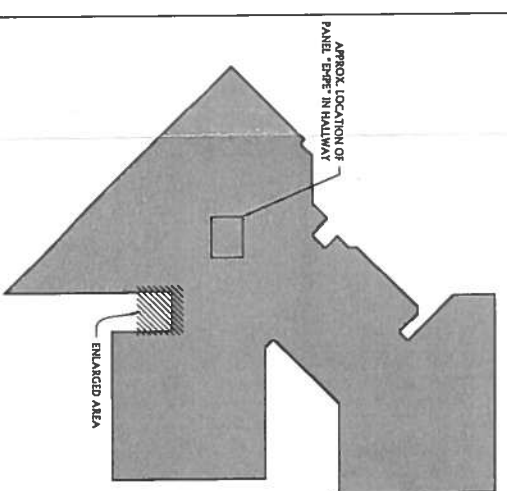
GENERAL NOTES

1. CONTRACTOR SHALL CUT ALL FLOORS, WALLS, CEILINGS, AND ROOF AS REQUIRED TO PERFORM THE WORK SHOWN IN THESE CONTRACT DOCUMENTS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE JURISDICTION OF THE ARCHITECT/ENGINEER.
2. COORDINATE HVAC AND PLUMBING EQUIPMENT WITH ALL OTHER TRADES AS REQUIRED.
3. REFERENCE ARCHITECTURAL PLANS FOR EXACT FUTURE LOCATIONS.
4. HVAC SYSTEMS SHALL COMPLY WITH NFPA-99.
5. ALL WIRING SHALL BE THINWALL #12 S SOLID CORE INSTALLED IN EMT CONDUIT.
6. ALL NEW WIRING DEVICES SHALL BE 20A SPECIFICATION GRADE.
7. ALL DUCTWORK TO BE SHEET METAL WITH GAUGES AND CONSTRUCTION PER SPAC9A.
8. ALTERNATE EMT-FAN MANUFACTURERS ARE ACCEPTABLE INCLUDING GARDNERWHEN, GREENHECK, BURN, PARSANSON.

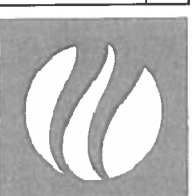
KEYED NOTES

1. PROVIDE UNDISTURB ON WALL WITH CHAIN AND HOOKS TO SECURE ALL OUTLET TANKS.
2. SEAL ALL EXISTING AND NEW PENING AND CONDUIT PENETRATIONS WITH FIRE CULITE.

KEY PLAN



PREMIERE BONE AND JOINT OXYGEN STORAGE FACILITY ADDITION
 plan one / architects



- cody, wyoming, 1001 12th st., 82414 (307) 587-8646 - rock springs, wyoming, 4020 dewar dr., suite a, 82901 (307) 352-2954, - driggs, idaho, 189 north main, suite 112, 83422 (208) 354-8036 -



PLAN
 Ryan M. Adams
 License No. 14814
 State of Wyoming
 ACE JOB #
 14BL4918

ME2.1
 Project: 1443
 date: 12/15/2014
 revisions: